

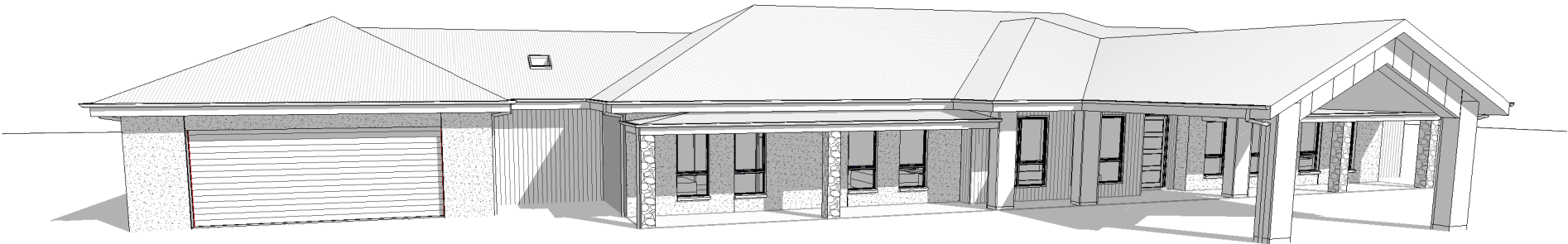
24027
WHITEHORN
CUSTOM

SHEET	TITLE	REV
A01.0.1	COVER SHEET	A
A10.0.1	SITE ANALYSIS, EROSION CONTROL	A
A11.0.0	PARTIAL SITE PLAN	A
A11.0.1	SITE SETOUT PLAN (BULK EARTHWORKS)	A
A15.0.1	STORMWATER PLAN	A
A21.1.1	LVL 01 FLOOR PLAN	A
A30.0.1	ELEVATIONS	A
A30.1.1	ELEVATIONS	A

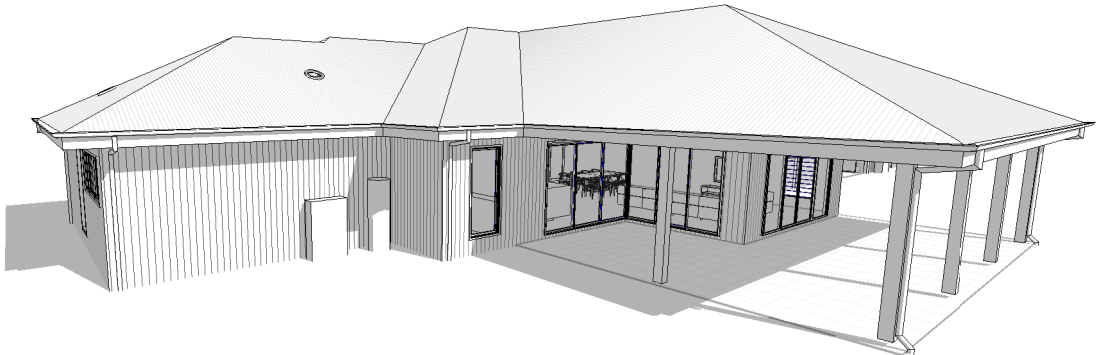
SHEET TOTAL: 8

BAL 12.5 REQUIREMENTS

REFER TO TENDER



FRONT PERSPECTIVE VIEW



REAR PERSPECTIVE



eCORATE
Australia

URBAN SUSTAINABILITY ASSESSORS

0401 002 099
info@ecorate.com.au
www.ecorate.com.au

Assessor BDAV/17/1819 Certificate # - Refer to stamp

These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.

The following specification details the requirements to achieve the Thermal performance values as indicated on the BDAV Assessment Certificate. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact eCORATE Australia immediately.

External Wall Construction					
Brick Veneer/ light weight	Insulation R2.7 + Foil	Colour (Solar Absorptance) None Specified (default - medium)			
Internal Wall Construction					
Plasterboard on studs	Insulation Detail R2.7 to garage + wet areas near garage, nil to remaining				
Ceiling Construction					
Plasterboard	Insulation Detail R5 to ceilings adj roof nil to garage				
Roof Construction					
Metal	Insulation Anticon R1.3	Colour (Solar Absorptance) 0.67			
Floor Construction					
Concrete (300mm waffle pod)	Insulation none	Covering	Detail		
As drawn (default - wet area & kitchen-tiles) (default - carpet & underlay to remaining)					
Windows Glass and frame type U SHGC Area sq m Detail					
ALM-003-03 A Aluminium B DBG Lowe		4.30	0.47	As drawn	
ALM-004-03 A Aluminium A DBG Lowe		4.30	0.53	As drawn	
ALM-001-03 A Aluminium B Single Lowe		5.40	0.49	As drawn	
ALM-002-03 A Aluminium A Single Lowe		5.40	0.58	As drawn	
Please refer to Nuthers certificate.					
Skylights Glass and frame type U SHGC Area sq m Detail					
Please refer to Nuthers certificate.					
<i>Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors</i> <i>Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres</i> <i>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.</i>					
External Window Cover Detail					
Fixed shading - Eaves		Width includes guttering, offset is distance above windows modelled as drawn Nominal only, refer to plan for detail			
Fixed shading - Other		Verandahs, Pergolas (type and description)			
Shaded areas and shade devices as drawn					
"No" means that the item was not written in the assessment and shall not be installed. Yes to door & window seals means that seals are to be fitted to all external doors and windows					

 Ph: (03) 9416 0227
Fax: (03) 9416 0115
Web: www.dmv.org.au
Office hours are Monday to Friday, 9am to 5pm (AEST) excluding public holidays.

PO Box 174
Carlton South VIC 3053

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 eCORATE Australia	SUMMARY OF BASIX COMMITMENTS
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>	
<i>The following specification details the requirements to achieve BASIX Compliance as indicated on the Basis Report. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact ecorATE Australia immediately.</i>	
URBAN SUSTAINABILITY ASSESSORS	
0401 002 099 info@ecorate.com.au www.ecorate.com.au	
WATER COMMITMENTS	
Fixtures	
4 Star Shower Heads	Yes 4 5-6.0L/min
4 Star Kitchen / Basin Taps	4 Star Toilet
Alternative Water	
Minimum Tank Size (L)	2500
Collected from Roof Area (m2)	
100%	
Tank Connected To:	
All Toilets, Laundry W/M Cold Tap, One Outdoor Tap	
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans	
ENERGY	
COMMITMENTS	
Hot Water	Electric Storage
Cooling System	Living 1 Phase ducted + ceiling fans EER 3.0-3.5
Bedrooms	1 Phase ducted + ceiling fans EER 3.0-3.5
Heating System	Living 1 Phase ducted EER 3.5-4.0
Bedrooms	1 Phase ducted EER 3.5-4.0
Individual fan, Ducted to Facade or roof, manual switch on/ off to Bathrooms, Kitchens and Laundry's	
Natural Lighting	Window/Skylight in Kitchen
	No
Window/Skylight in Bathrooms/Toilets	2
Artificial Lighting	
Your development must be primarily lit (minimum 80% of light fittings) by compact fluorescent, fluorescent or LED Lamps	
OTHER	
COMMITMENTS	
Outdoor clothes line	Yes
Stove/Oven	Electric cooktop + electric oven
Photovoltaic system min Peak 2Kw	



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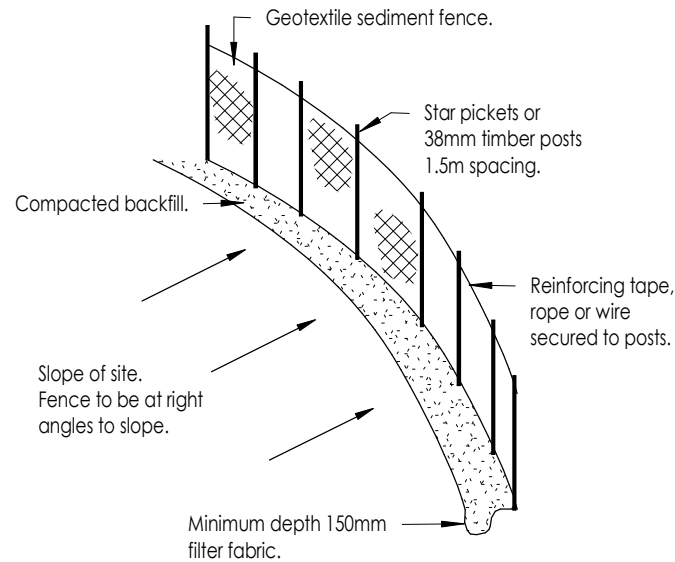
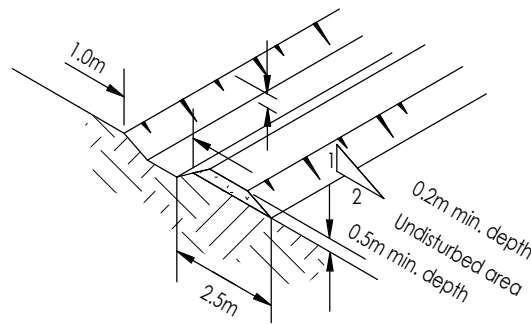
FOR:
WHITEHORN

AT:
LOT 5/ DP 727263
1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Sheet Title	
COVER SHEET	
Date	
21.08.2024	
Drawn by	Checked
NG	.
FRAME DIMENSIONS SHOWN	
Scale	
1 : 100 @ A3	
Design	Rev
CUSTOM	A
Drawing No.	Sheet
24027	A01.0.1

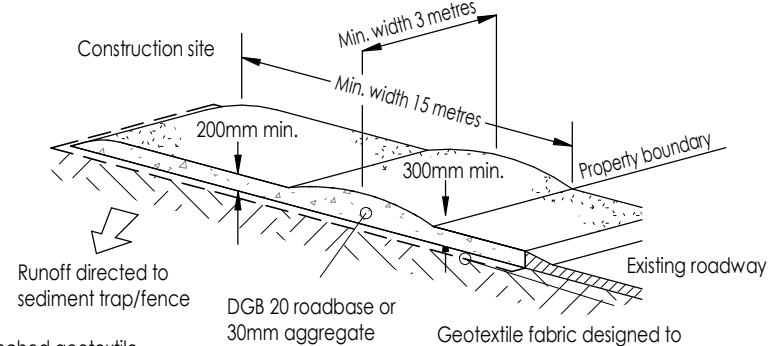
CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5 (BAL - 12.5)

FOR DETAILS REFER TO AS3959-2009 Amendment 1 and 2 and ADDENDUM: APPENDIX 3 NSW RURAL FIRE SERVICE



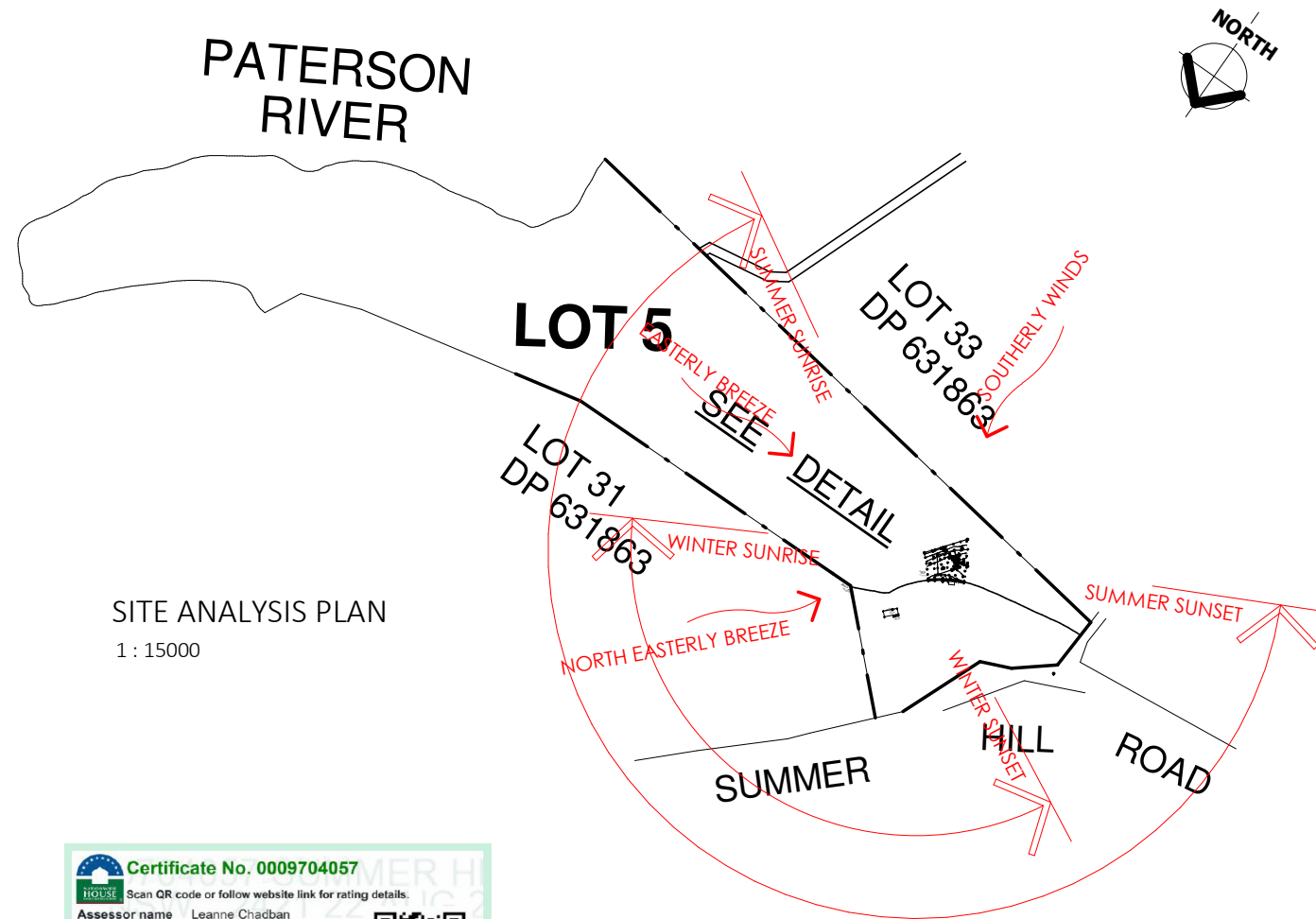
1. Strip topsoil and level site. Runoff directed to sediment trap/fence
2. Compact subgrade. DGB 2 30mm
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 300mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

All sediment control techniques including runoff diversion techniques, sediment trapping devices, construction of entrances/exits, buffer zones and revegetation techniques shall be constructed to prevent sediment and other debris leaving the site or entering council drainage system. All such control measures to be maintained in a sound and workable condition and shall not be removed from site until permanent rehabilitation measures have been completed.



Geotextile fabric designed to prevent intermixing of subgrade and base materials and to maintain good properties of the sub-base layers

Geofabric may be a woven or needle punched product with a minimum CBR burst strength (AS3706.4-90) or 2500 N.



1 : 15000

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AT:
LOT 5/ DP 727263
1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Drawing No.	24027	Sheet	A10.0.1
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PATERSON
RIVER

LOT 5

LOT 33
DP 631863

LOT 31
DP 631863

SEE
DETAIL

SUMMER
HILL ROAD

SITE PLAN_LOCATION
1 : 15000

LOT 31
DP 631863

LOT 5

78.06 Ha
(A) RIGHT OF CARRIAGEWAY
OVER TRACK IN USE (DP
1287/257).

165500

100000

58.63 FL

METAL
SHED
WATER
TANKS

APPROX LOCATION OF EXISTING AWTS

LEGEND - KEYNOTES (REFER SPECIFICATIONS)

REFER TO TENDER

BAL 12.5 REQUIREMENTS

PARTIAL SITE PLAN
1 : 1000

**Certificate No. 0009704057**
Scan QR code or follow website link for rating details.

Assessor name Leanne Chadban
Accreditation No. DMN/17/1819
Property Address 1294 Summer Hill
Road, Summer Hill
NSW, 2421


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No.	Date	Description	Drn
A	21.08.24	ISSUED FOR DA	NG

FOR:
WHITEHORN

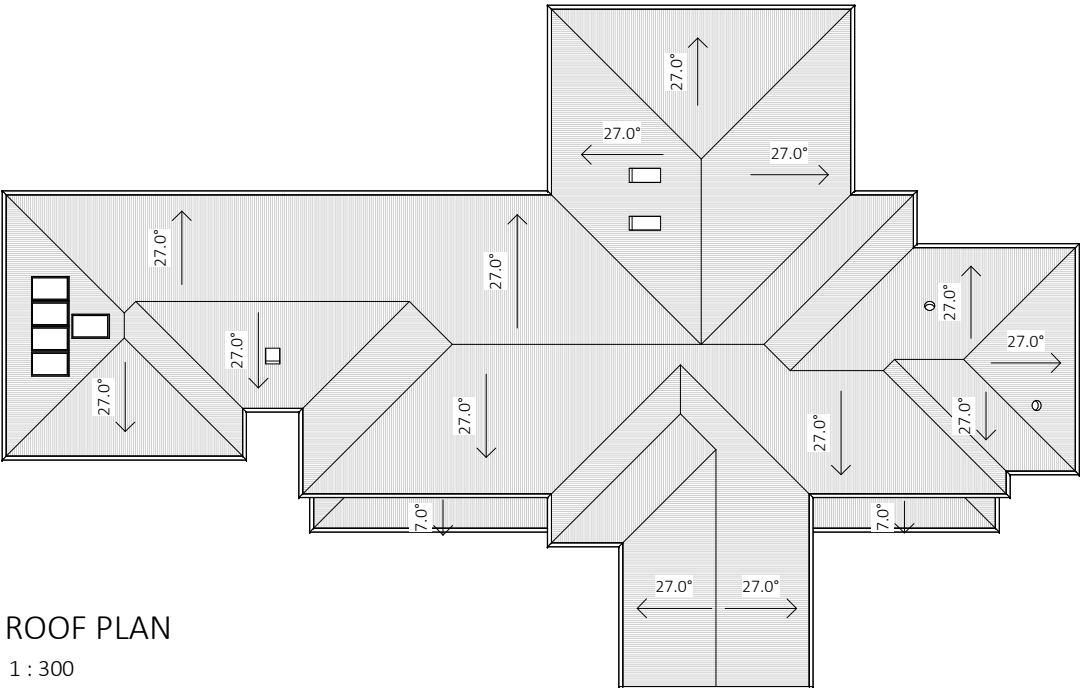
AT:
LOT 5/ DP 727263
1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Sheet Title
PARTIAL SITE PLAN

Date 21.08.2024
Drawn by NG
Checked
Drawing No. 24027

Scale As indicated @ A3
Design CUSTOM Rev A
Sheet A11.0.0





ROOF PLAN
1 : 300

**Certificate No. 0009704057**
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Assessor name Leanne Chadban
Accreditation No. DMN/17/1819
Property Address 1294 Summer Hill Road, Summer Hill NSW, 20421
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CHARGED STORMWATER LINES TO APPROX. POSITION OF WATER STORAGE TANK WITH OVERFLOW IN ACCORDANCE WITH COUNCIL REQUIREMENTS. WATER TANK CONNECTED TO L'DRY, W.C.'S & GARDEN TAP. WATER NOT SUITABLE FOR DRINKING.

DRAINAGE DIAGRAMS: SEWER/STORMWATER, ARE INDICATIVE ONLY AND MAY VARY DUE TO THE REQUIREMENTS OF AUTHORITIES AND/OR PARTICULAR SITE CONDITIONS.

CONNECT RAINWATER DOWNPIPES TO (D.P.) STORMWATER DRAINAGE SYSTEM AND DISPOSE OF STORMWATER TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.

CONNECT HOUSEWASTES AND SEWERAGE POINTS TO SEWER DRAINAGE SYSTEM AND CONNECT TO COUNCIL SEWERMAIN / ON SITE SEWER TREATMENT AS REQUIRED TO COUNCIL REGULATIONS.

STORM WATER PLAN
1 : 300

LOT 5
78.06 Ha
(A) RIGHT OF CARRIAGEWAY OVER TRACK IN USE (DP 1287837).

APPROX LOCATION OF 100,000L WATER TANK BY OWNER

LEGEND - KEYNOTES (REFER...
DP DOWNPIPE AS SPECIFIED



STAR PICKET ELECTRIC FCE

METAL AWNING

TRACK

REFER TO TENDER

BAL 12.5 REQUIREMENTS



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A	21.08.24	ISSUED FOR DA	NG

FOR: WHITEHORN

AT: LOT 5/ DP 727263
1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Sheet Title
STORMWATER PLAN

Date	21.08.2024
Drawn by	Checked
FRAME DIMENSIONS SHOWN	

Scale	As indicated	@ A3
Design	CUSTOM	Rev A
Drawing No.	24027	Sheet A15.0.1

LEGEND - KEYNOTES (REFER SPECIFICATIONS)

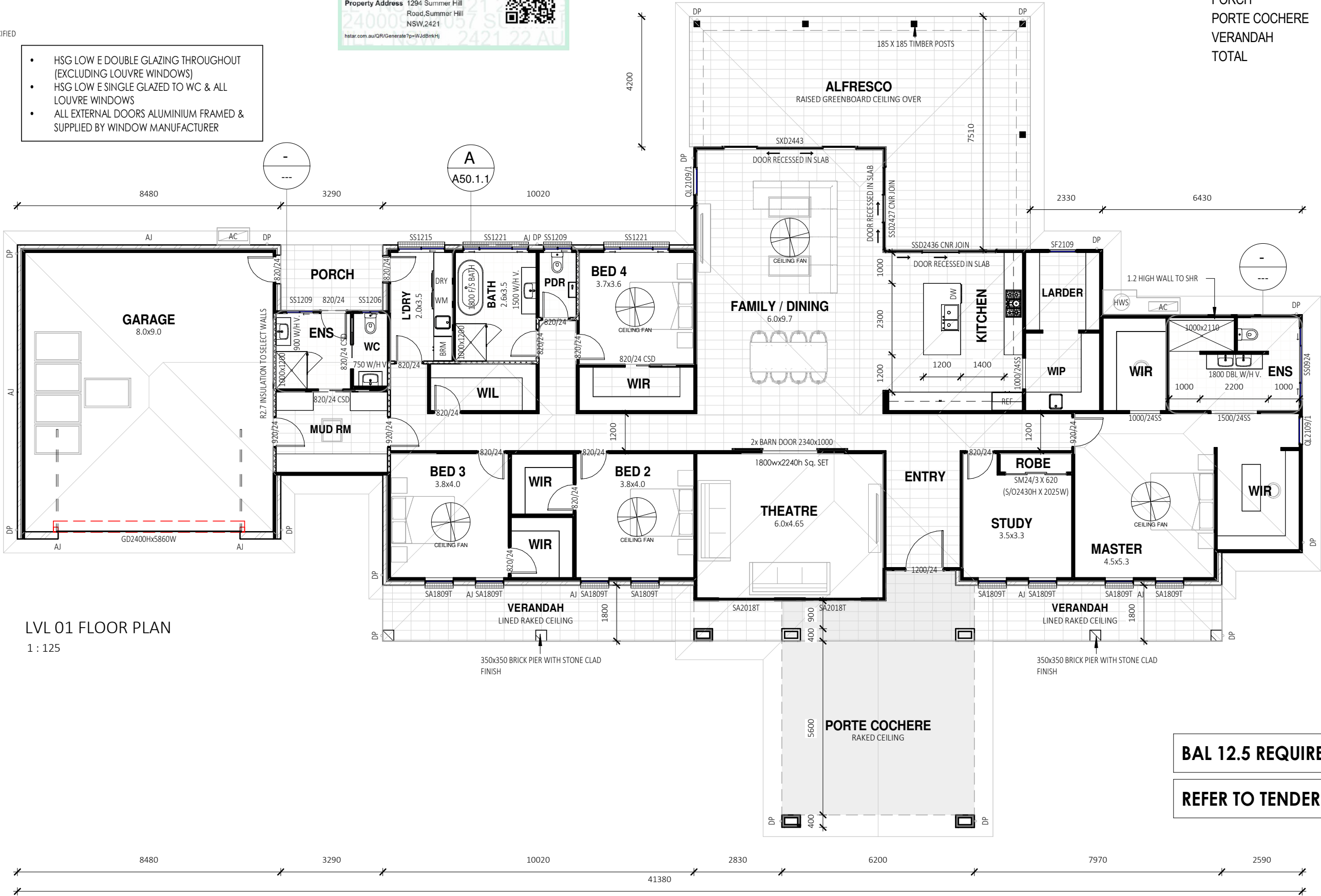
AC	AIR CONDITIONING AS SPECIFIED
AJ	ARTICULATION JOINT
BRM	BROOM CLOSET
DP	DOWNSPIPE AS SPECIFIED
DRY	CLOTHES DRYER
DW	DISHWASHER AS SPECIFIED
HWS	HOT WATER SYSTEM
REF	REFRIGERATOR OPENING AS SPECIFIED
WM	WASHING MACHINE

DOOR LEAF LEGEND:
XXX/21=2040H LEAF
XXX/24=2340H LEAF

- HSG LOW E DOUBLE GLAZING THROUGHOUT (EXCLUDING LOUVRE WINDOWS)
- HSG LOW E SINGLE GLAZED TO WC & ALL LOUVRE WINDOWS
- ALL EXTERNAL DOORS ALUMINIUM FRAMED & SUPPLIED BY WINDOW MANUFACTURER



FLOOR AREAS	
ALFRESCO	61.51 m²
LIVING	346.60 m²
GARAGE	79.03 m²
PORCH	6.94 m²
PORTE COCHERE	37.20 m²
VERANDAH	46.60 m²
TOTAL	577.88 m²



LVL 01 FLOOR PLAN
1 : 125

BAL 12.5 REQUIREMENTS

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FOR:
WHITEHORN

AT:
LOT 5/ DP 727263
1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Sheet Title
LVL 01 FLOOR PLAN

Date	21.08.2024
Drawn by	NG
Checked	
FRAME DIMENSIONS SHOWN	

Scale	As indicated	@ A3
Design	CUSTOM	Rev A
Drawing No.	24027	Sheet A21.1.1

LEGEND - KEYNOTES (REFER SPECIFICATIONS)

AJ ARTICULATION JOINT

**Certificate No. 0009704057**

Scan QR code or follow website link for rating details.

Assessor name Leanne Chadban

Accreditation No. DMN/17/1819

Property Address 1294 Summer Hill Road, Summer Hill NSW, 2421

hstar.com.au/QR/Generate?n=WJdBrkHj



INSULATION NOTES:

R5.0 INSULATION TO CEILINGS (EXCLUDES GARAGES, PORCHES, BALCONIES AND ALFRESCOS).

R2.0 INSULATION TO EXTERNAL WALLS (EXCLUDES GARAGE WALLS)

R2.7 INSULATION TO EXTERNAL CLAD WALLS + BATTENS

R2.7 INSULATION TO INTERNAL WALLS WHERE SPECIFIED

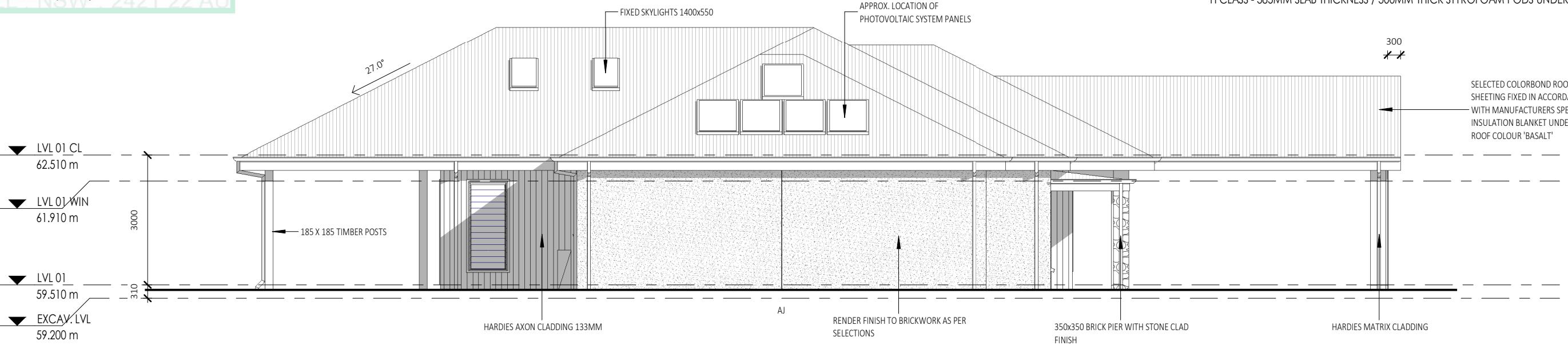
R2.0 INSULATION TO INTERNAL GARAGE WALLS

UNDER SLAB INSULATION:

REFER TO GEOTECH S/M/H CLASS.

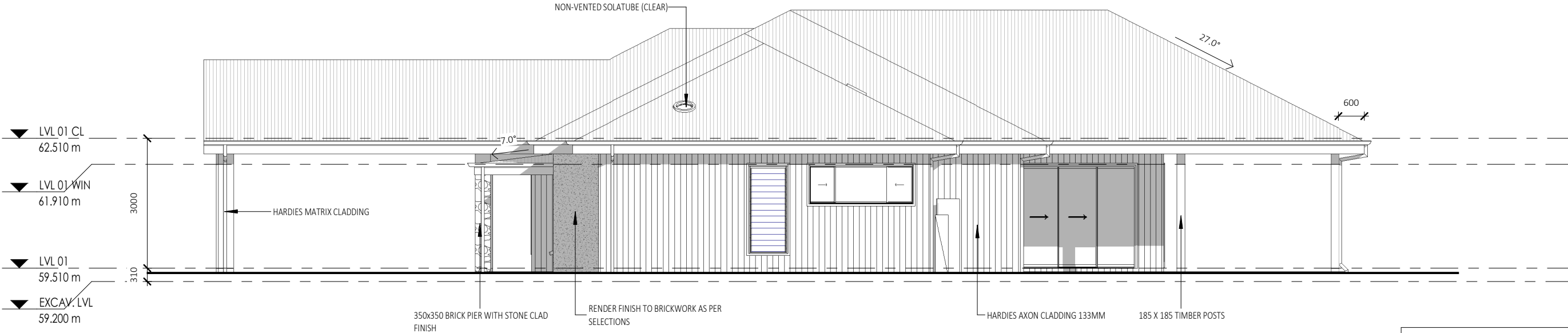
S&M CLASS - 310MM SLAB THICKNESS / 225MM THICK STYROFOAM PODS UNDER SLAB

H CLASS - 385MM SLAB THICKNESS / 300MM THICK STYROFOAM PODS UNDER SLAB



SIDE ELEVATION

1 : 100



SIDE ELEVATION

1 : 100

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AT:
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1294 SUMMER HILL ROAD
SUMMER HILL NSW 2421

Sheet Title
ELEVATIONS

Date	21.08.2024
Drawn by	Checked
FRAME DIMENSIONS SHOWN	

Scale	1 : 100	@ A3
Design	CUSTOM	Rev A
Drawing No.	24027	Sheet A30.1.1